



Douglas Mews, Banstead

The **PERSONAL** Agent

Guide Price £465,000

Freehold

- Two double bedrooms
- Cul de sac location
- Generous south facing garden
- Two allocated parking spaces
- Close to High Street and amenities
- Downstairs cloakroom
- Spacious sitting over looking the private garden
- Excellent storage

A bright and airy two double bedroom home, ideally situated within a popular cul de sac just a short walk from Banstead High Street. This deceptively spacious mid terrace property offers well planned and beautifully presented accommodation throughout and warrants immediate inspection to be fully appreciated.

The property offers well presented accommodation arranged over two floors, beginning with a covered entrance porch leading into a spacious lounge/dining room, ideal for both relaxing and entertaining. There is a modern fitted kitchen and a convenient downstairs cloakroom.

Upstairs, there are two well proportioned bedrooms along with a contemporary family bathroom.



Externally, the property benefits from two allocated off-street parking spaces. To the rear, there is a level, southerly-facing landscaped garden, providing an excellent outdoor space, complete with sheds and gated rear access. A conservatory enjoys pleasant views over the garden, further enhancing the living space. Additional features include gas central heating throughout.

This quiet and much requested private cul de sac enjoys a fantastic position and is within walking distance of the heart of the village with its excellent High Street shopping that includes a Waitrose Supermarket and the M&S Simply Food store. The village also has numerous high quality cafes and restaurants.

Nearby the open spaces of Banstead Downs provide beautiful walks and cycling routes, Oaks Park and Epsom Downs are also easily reached. The A217 provides an arterial route to London and the M25 motorway at Reigate Hill (J8), and there are rail services at Banstead Station some 0.7 of a mile away. The property enjoys an ideal location for accessing the area's many cultural/leisure venues.

Tenure: Freehold
Council tax band: D

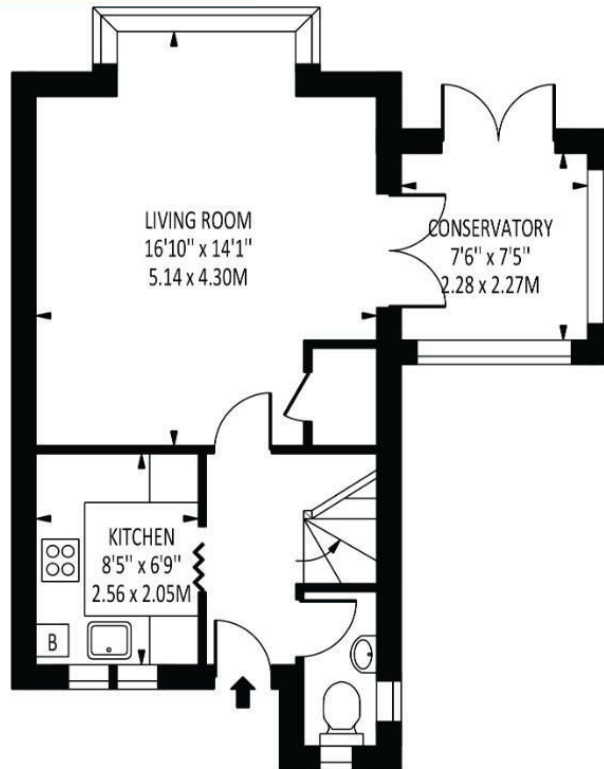




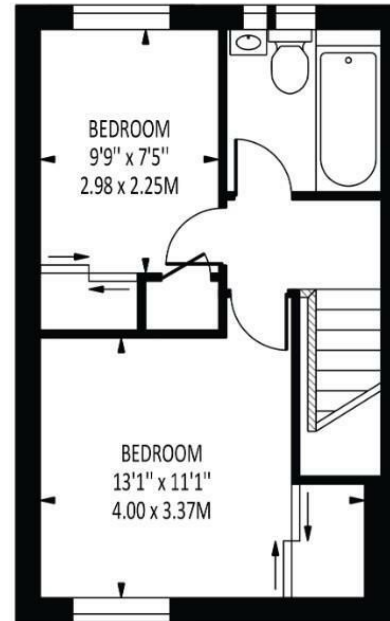
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Total Area: 727 SQ FT • 67.57 SQ M



GROUND FLOOR



FIRST FLOOR

Disclaimer: For Illustration Purposes only

This floor plan should be used as a general outline for guidance only and does not constitute in whole or in part an offer of contract. Any intending purchaser or lessee should satisfy themselves by inspection, searches, enquiries and full survey as to the correctness of each statement. Any areas, measurements or distances quoted are approximate and should not be used to value a property or be the basis of any sale or let.

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C	69	75
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales		EU Directive 2002/91/EC

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